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## Definitions

Satisfactory	Meets industry standards for proper material and installation
Not Present	Condition or item was not present at time of inspection
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Marginal	Meets industry standards for proper material and installation, but improvements are recommended
Unsatisfactory	Does NOT meet industry standards for proper material or installation. Corrections will be required.

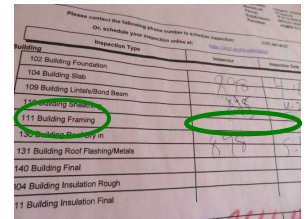
## Company Information

Inspector Name Darren Anderson  
Company Name Anderson Home Inspection Service, LLC

## Roof System

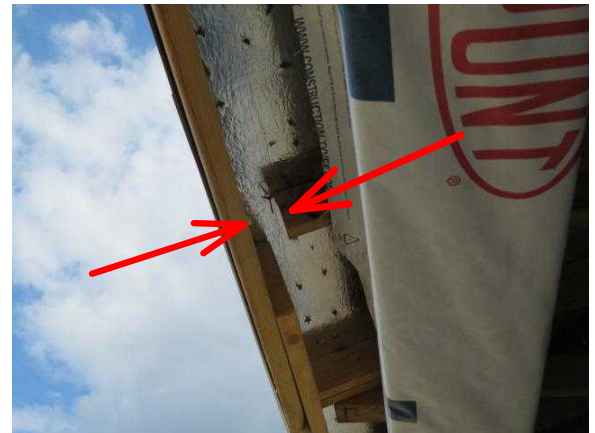
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Marginal	Meets industry standards for proper material and installation, but improvements are recommended
Unsatisfactory	Does NOT meet industry standards for proper material or installation. Corrections will be required.

1. Marginal      Verify permit inspections are completed and approved **The framing inspection by the local building official is not yet approved.**



### Main roof Roof Framing

- Type: Gable, Hip
- Method of Inspection: On roof
- Unable to Inspect: 10%
- Satisfactory Roof Covering: Asphalt shingles
- Unsatisfactory Trusses: 2x4 2 of the truss tips were cut too short to accommodate the wood fascia located at the rear above the patio. The framing contractor was present and advised that he will repair this condition on 5-24-18.



- Satisfactory Gang Nail Plates:

## Roof System (Continued)

- 8. Satisfactory      Proper Truss Nailing:
- 9. Satisfactory      Joists: Engineered Truss Joist
- 10. Satisfactory     Proper Joist Nailing:
- 11. Satisfactory     Hangers:
- 12. Satisfactory     Proper Hanger Nailing:



- 13. Satisfactory     Beams: Glue Laminated



- 14. Satisfactory     Truss Blocking: 2x4
- 15. Satisfactory     Truss Bracing: 2x4
- 16. Not Inspected   Fire-Stop Blocking: Oriented Strand Board (OSB) Voids usually get filled at insulation install
- 17. Satisfactory     Roof Sheathing: 7/16" Oriented Strand Board with radiant barrier
- 18. Satisfactory     Proper Sheathing Nailing:
- 19. Satisfactory     "H" Clips:
- 20. Satisfactory     Attic Scuttle/Access:
- 21. Satisfactory     Roof Mounted Vents: Box roof vents
- 22. Satisfactory     Roof Penetrations:

## Wall Framing

- Satisfactory      Meets industry standards for proper material and installation
- Not Present       Condition or item was not present at time of inspection
- Not Inspected     Condition or item was not inspected
- Marginal          Meets industry standards for proper material and installation, but improvements are recommended
- Unsatisfactory    Does NOT meet industry standards for proper material or installation. Corrections will be required.

## Wall Framing (Continued)

1. Unsatisfactory Wall Sill Sealer: Closed cell foam Observed some penetrations and around the door inside of the pool bathroom that are missing the foam seals.



## Wall Framing (Continued)

Wall Sill Sealer: (continued)



- 2. Satisfactory
- 3. Satisfactory
- 4. Satisfactory
- 5. Marginal

Wall Anchor Bolts: Carriage bolts

Wall Hurricane Straps: Galvanized metal, ESR-2523, SPH4, HTT5

Sill Flashing/Gasket: Flash & Seal

Exterior Bearing Walls: Block/frame **Observed some nails in various places that need removal on the exterior walls in various places prior to the stucco application.**



- 6. Satisfactory
- 7. Satisfactory
- 8. Satisfactory
- 9. Satisfactory
- 10. Satisfactory
- 11. Satisfactory
- 12. Satisfactory
- 13. Not Inspected
- 14. Satisfactory

Bearing Wall Sheathing: 4"x8"x7/16" Oriented strand board (OSB)

Wall Vapor Barrier: Tyvek

Bearing Wall Blocking: 2x4 wood

Non-Load Bearing Wall Framing: 2x4

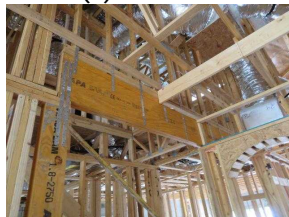
Non-Load Bearing Wall Blocking: 2x4 wood

Knee Wall: 2"x4" wood stud 24" on center

Wall Furring: 1x2 wood

Fire-Stop Blocking: Oriented strand board (OSB)

Beam(s): Glue Laminated



- 15. Not Present

Beam Shims:

## Wall Framing (Continued)

16. Satisfactory Beam Anchors: Simpson Anchors, straps



17. Satisfactory Column(s): Glue Laminated



18. Satisfactory Column Anchors: Simpson Anchors, HTT4 & straps



19. Satisfactory Bulkhead/Soffit Framing: 2x4

20. Satisfactory Framed Opening(s): 2x4

## Floor and Ceiling Framing

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- Unsatisfactory Does NOT meet industry standards for proper material or installation. Corrections will be required.

1. Satisfactory Floor Joists: Engineered truss joists

2. Unsatisfactory Floor Sheathing: Strand board **Observed some sub flooring damage at the 2nd floor front room which appears to be water damage. (The windows was likely left out for materials delivery and rain entered the structure) Recommend further evaluation by a licensed contractor as the damage appears to contain some moldy substances. Recommend replacing the damaged sub flooring in this area and making any necessary repairs to correct any mold-related**



## Floor and Ceiling Framing (Continued)

Floor Sheathing: (continued)

conditions if present.

- 3. Satisfactory
- 4. Satisfactory
- 5. Satisfactory

Ceiling Joists: Joists

Joist Hangers: Simpson hangers

Cross Bridging: 2x4 wood The cross bracing located at the family room has been removed/cut to install a recessed light fixture. A framing contractor was present and made the repair which appears to be sufficient.



- 6. Satisfactory

Attic Scuttle Framing: Present



- 7. Not Present
- 8. Satisfactory

Drop Ceiling Framing:

Ceiling Blocking: 2x4

## Doors and Windows

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- 1. Satisfactory
- 2. Marginal

Window Framing: Block, 2x4 wood

Window Installation: Improper installation A 2nd floor window is not installed properly which is likely due to allow for materials deliveries.



## Doors and Windows (Continued)

3. Marginal

Door Framing: Block, 2x4 wood The client has a photo of the model that has the door under the stairs the same as the other doors being 96" tall opening. The framing for this house is a 80" framed opening. The correct opening size was not identified. The construction supervisor advised that he will investigate this condition.



4. Marginal

Exterior Door Installation: Properly installed The sliding patio doors are not installed into the door tracks.



5. Satisfactory

Garage Door Opening(s): 16ft

## Stair Framing

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### Main staircase Stair Framing

1. Approved plans on-site? Yes

2. Type: Fabricated On-site

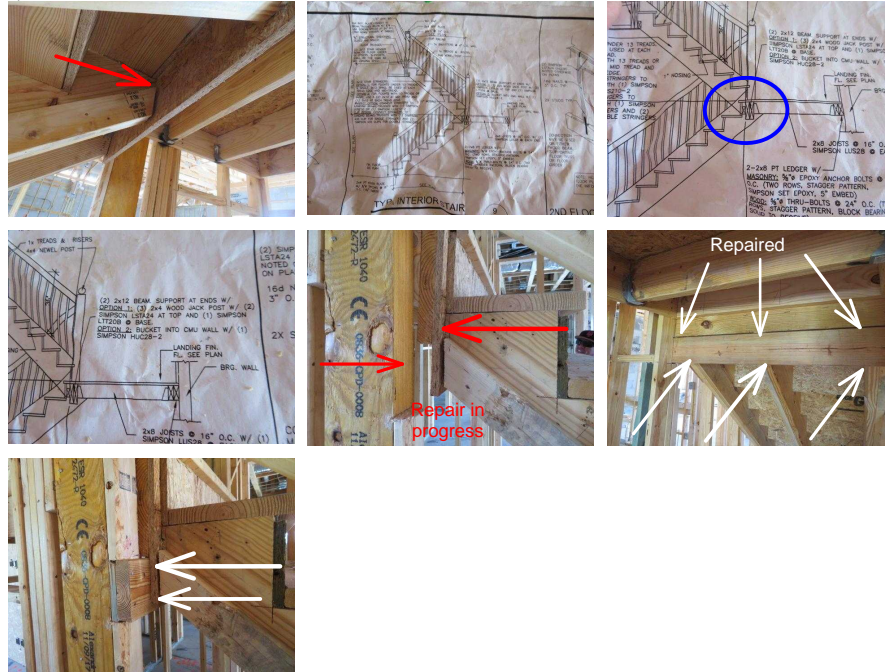
3. Satisfactory Stringers: 2x12 Wood The lower set of stairs do not line up to rest against the landing and a board has been nailed below the landing with a piece of OSB sheathing for the stairs to mount against. This appears to be a very weak attachment and appears to be substandard in nature. The framing contractor arrived during the inspection and he observed the stairs and agreed that the stairs need repairs to prevent a catastrophic event or failure. He made the repairs while this inspector was present. His repairs appeared to be sufficient.





## Stair Framing (Continued)

Stringers: (continued)



4. Satisfactory
5. Satisfactory
6. Not Inspected
7. Unsatisfactory

Risers: Wood

Treads: Wood

Bullnose Tread:

Platforms/Landings: Site-built

Recommend installing jack studs to support the mid landing. The framing contractor was present and advised that he would make the repair on 5-24-18.



## Stair Framing (Continued)

Platforms/Landings: (continued)



- 8. Satisfactory      Stair Blocking: Dimensional lumber
- 9. Satisfactory      Head Clearance:

## Fixture and Cabinetry Layout

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### All Fixture/Cabinet Layout

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- 1. Approved plans on-site? Yes
- 2.                    **Kitchen**
- 3. Satisfactory      Sink Drain Layout:
- 4. Satisfactory      Kitchen Cabinetry Layout:
- 5. Not Inspected    Island Layout: [Not installed or complete.](#)



- 6. Satisfactory      Ventilation Fans: [Vents to exterior.](#)

## Fixture and Cabinetry Layout (Continued)

### 7. Bathroom(s)

- 8. Satisfactory Sink Drain Layout:
- 9. Satisfactory Vanity Layout:
- 10. Satisfactory Ventilation Fans:
- 11. Satisfactory Toilet Drain Layout:
- 12. Satisfactory Shower Drain Layout:
- 13. Satisfactory Sink Drain Layout:
- 14. Satisfactory Tub Drain Layout:
- 15. Satisfactory Tub Installation:
- 16. Not Present Whirlpool Tub Layout:
- 17. Not Present Whirlpool Tub Installation:

### 18. Laundry

- 19. Not Inspected Deep Sink Drain Layout:
- 20. Satisfactory Cabinetry Layout:
- 21. Satisfactory Washer Drain Layout:
- 22. Not Present Floor Drain Layout:

## Plumbing Rough- in

- Satisfactory Meets industry standards for proper material and installation
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- Not Inspected Condition or item was not inspected
- Marginal Meets industry standards for proper material and installation, but improvements are recommended
- Unsatisfactory Does NOT meet industry standards for proper material or installation. Corrections will be required.

- 1. Satisfactory Verify permit inspections are completed and approved
- 2. Satisfactory Main service sealed at wall penetration
- 3. Unsatisfactory Supply piping complete and securely installed **Some of the plumbing supply pipes at bathrooms are routed in what appears to be a substandard nature. The pipes protrude the walls where the drywall will be installed in some places and the wood framing is split where some of the piping has been routed. Recommend re-routing the plumbing pipes to prevent the drywall from touching the pipes. Recommend further evaluation by a licensed plumbing contractor.**

## Plumbing Rough- in (Continued)

Supply piping complete and securely installed (continued)



## Plumbing Rough- in (Continued)

Supply piping complete and securely installed (continued)



4. Satisfactory

Supply piping protection plates installed where required

5. Unsatisfactory

Sanitary drain piping complete, properly sized and securely installed. A plumbing drain line protrudes the wall by about an inch at a 1st floor bathroom and should be moved to accommodate the drywall.

Left 1st floor bathroom: The concrete has been chipped away to accommodate the tub drain and the concrete has not been filled/repared at this location.

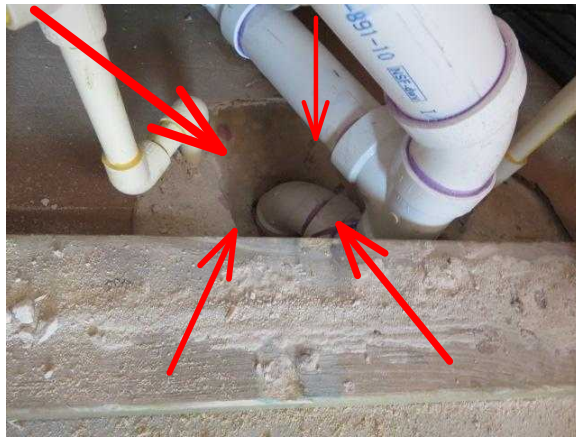
The vertical plumbing drain for the upper level located at the master bedroom closet protrudes the wall framing. It appears that the plumbing pipe is routed about 1/2" out from the framed wall which will not allow the drywall to mount flush against the framing. This condition could cause excessive noise when water is being drained from the 2nd level.

Recommend further evaluation and repairs by a licensed plumbing contractor.



## Plumbing Rough- in (Continued)

Sanitary drain piping complete, properly sized and securely installed (continued)



## Plumbing Rough- in (Continued)

Sanitary drain piping complete, properly sized and securely installed (continued)



- 6. Satisfactory
- 7. Satisfactory
- 8. Satisfactory
- 9. Satisfactory
- 10. Satisfactory
- 11. Not Present
- 12. Not Present
- 13. Not Present

Sanitary vent piping complete, properly sized and secure

Sanitary vent piping vented to exterior

Required sanitary clean outs provided

Sink, tub, shower and floor drain traps installed

Shower and tubs installed level

Footing draitile complete along perimeter

Sump well installed and connected to draitile

Verify gas lines installed/secured at all gas equipment locations [Galvanized](#), [CSST](#)



- 14. Not Inspected Change order items installed

## Electrical Rough- in

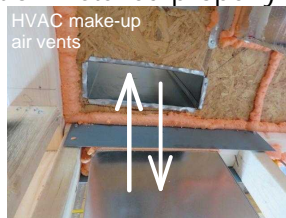
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1. Satisfactory Verify permit inspections are completed and approved
2. Satisfactory Main panel securely mounted and accessible
3. Satisfactory Proper grounding and bonding provided
4. Satisfactory Branch wiring installed to all locations and secured properly
5. Satisfactory Interior fixture junction boxes installed
6. Satisfactory Exterior fixture junction boxes installed
7. Satisfactory Branch conductor gauges sized properly as per local code requirements
8. Satisfactory Conductor splices protected within junction boxes
9. Satisfactory Minimum clearances provided for light fixtures
10. Satisfactory Proper support at ceiling fans
11. Not Inspected Change order items provided for
12. Not Inspected Phone pre-wire locations verified/installed
13. Not Inspected Cable TV pre-wire locations verified/installed

## Mechanical Rough- in

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Marginal	Meets industry standards for proper material and installation, but improvements are recommended
Unsatisfactory	Does NOT meet industry standards for proper material or installation. Corrections will be required.

1. Satisfactory Verify permit inspections are completed and approved
2. Satisfactory Supply ductwork properly installed/secure
3. Satisfactory Return ductwork properly installed/secure
4. Satisfactory Return air cavities
5. Not Present Combustion air ventilation installed properly





## Mechanical Rough- in (Continued)

- |                   |  |
|-------------------|--|
| 6. Not Present    | Metal flue connections are tight, secure with exterior termination |
| 7. Not Present    | Clearances between flues and combustibles                          |
| 8. Satisfactory   | Ventilation fans properly installed                                |
| 9. Satisfactory   | Ceiling register temporary covers installed                        |
| 10. Not Inspected | Change order items installed                                       |

## Housekeeping and Safety

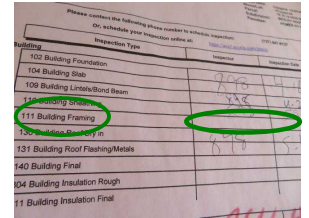
- |                |   |
|----------------|---|
| Satisfactory   | Meets industry standards for proper material and installation                                       |
| Not Present    | Condition or item was not present at time of inspection   |
| Not Inspected  | Condition or item was not inspected   |
| Marginal       | Meets industry standards for proper material and installation, but improvements are recommended     |
| Unsatisfactory | Does NOT meet industry standards for proper material or installation. Corrections will be required. |

- |                  |  |
|------------------|--|
| 1. Satisfactory  | Fall Protection: Guardrails              |
| 2. Satisfactory  | Daily site clean-up: Structure perimeter |
| 3. Satisfactory  | Daily interior clean-up: Clean condition |
| 4. Not Present   | Excess construction materials:           |
| 5. Not Present   | Special features:                        |
| 6. Not Inspected | Change order items:                      |

## Marginal Summary

### Roof System

1. Main roof Roof Framing Verify permit inspections are completed and approved The framing inspection by the local building official is not yet approved.



### Wall Framing

2. Exterior Bearing Walls: Block/frame Observed some nails in various places that need removal on the exterior walls in various places prior to the stucco application.



### Doors and Windows

3. Window Installation: Improper installation A 2nd floor window is not installed properly which is likely due to allow for materials deliveries.



4. Door Framing: Block, 2x4 wood The client has a photo of the model that has the door under the stairs the same as the other doors being 96" tall opening. The framing for this house is a 80" framed opening. The correct opening size was not identified. The construction supervisor advised that he will investigate this condition.



5. Exterior Door Installation: Properly installed The sliding patio doors are not installed into the door tracks.

## Doors and Windows (Continued)

Exterior Door Installation: (continued)



## Unsatisfactory Summary

### Roof System

1. Main roof Roof Framing Trusses: 2x4 2 of the truss tips were cut too short to accommodate the wood fascia located at the rear above the patio. The framing contractor was present and advised that he will repair this condition on 5-24-18.



### Wall Framing

2. Wall Sill Sealer: Closed cell foam Observed some penetrations and around the door inside of the pool bathroom that are missing the foam seals.



## Unsatisfactory Summary (Continued)

### Floor and Ceiling Framing

3. Floor Sheathing: Strand board Observed some sub flooring damage at the 2nd floor front room which appears to be water damage. (The windows was likely left out for materials delivery and rain entered the structure) Recommend further evaluation by a licensed contractor as the damage appears to contain some moldy substances. Recommend replacing the damaged sub flooring in this area and making any necessary repairs to correct any mold-related conditions if present.



### Stair Framing

4. Main staircase Stair Framing Platforms/Landings: Site-built Recommend installing jack studs to support the mid landing. The framing contractor was present and advised that he would make the repair on 5-24-18.



### Plumbing Rough- in

5. All Plumbing Supply piping complete and securely installed Some of the plumbing supply pipes at bathrooms are routed in what appears to be a substandard nature. The pipes protrude the walls where the drywall will be installed in some places and the wood framing is split where some of the piping has been routed. Recommend re-routing the plumbing pipes to prevent the drywall from touching the pipes. Recommend further evaluation by a licensed plumbing contractor.

## Plumbing Rough- in (Continued)

Supply piping complete and securely installed (continued)



6. All Plumbing Sanitary drain piping complete, properly sized and securely installed A plumbing drain line protrudes the wall by about an inch at a 1st floor bathroom and should be moved to accommodate the drywall.

Left 1st floor bathroom: The concrete has been chipped away to accommodate the tub drain and the concrete has not been filled/repared at this location.

The vertical plumbing drain for the upper level located at the master bedroom closet protrudes the wall framing. It appears that the plumbing pipe is routed about 1/2" out from the framed wall which will not allow the drywall to mount flush against the framing. This condition could cause excessive noise when water is being drained from the 2nd level.

Recommend further evaluation and repairs by a licensed plumbing contractor.

## Plumbing Rough- in (Continued)

Sanitary drain piping complete, properly sized and securely installed (continued)

